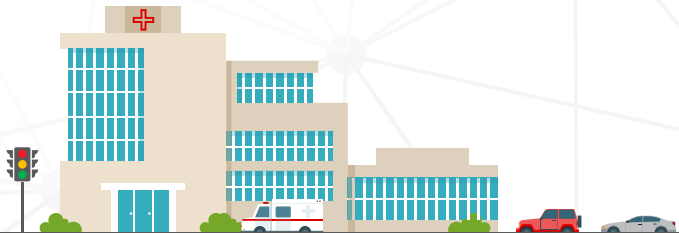




Parking and Traffic Study

December 9, 2024





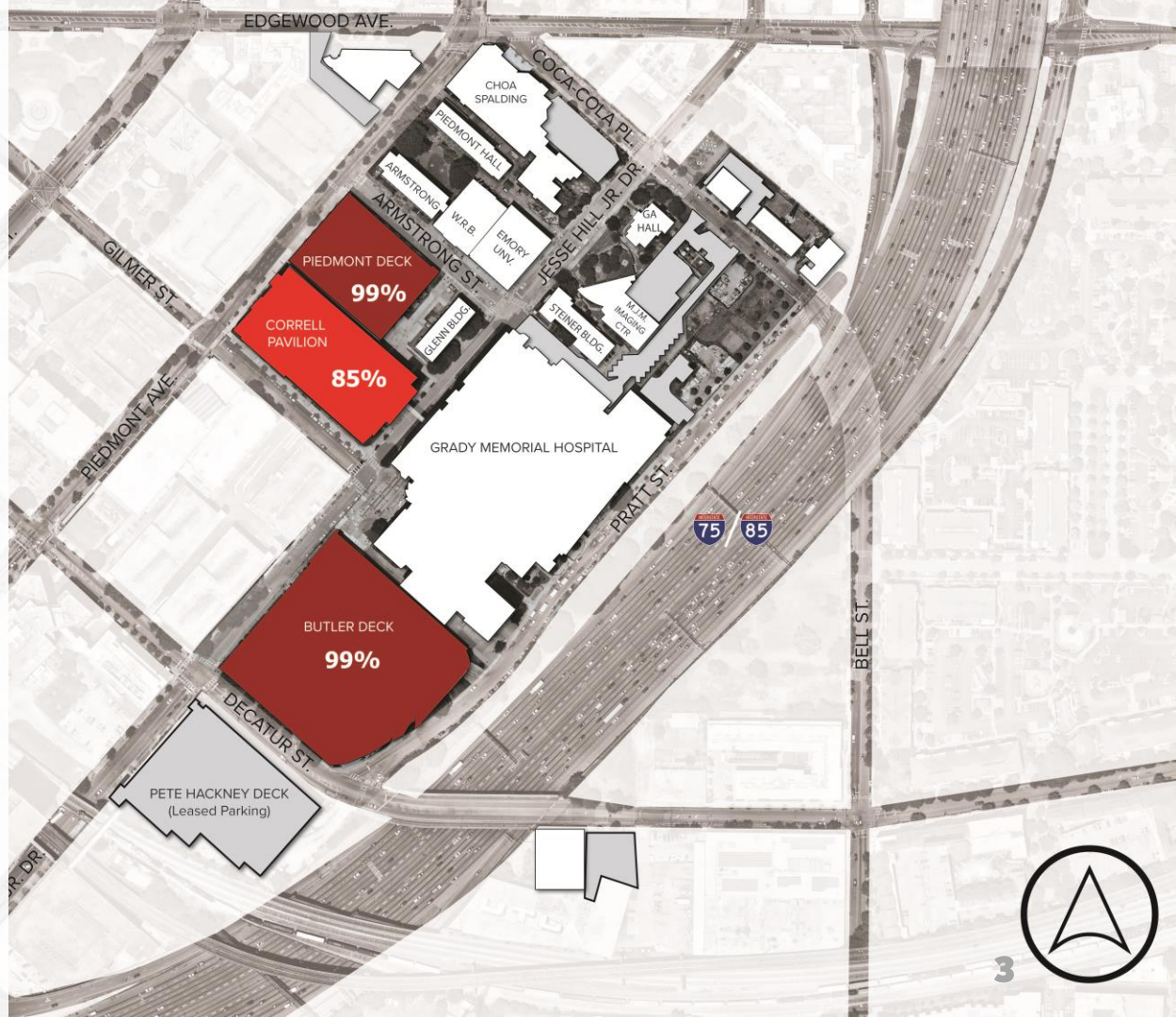
Purpose of the Study

Grady Health Systems seeks to **improve the transportation, parking, and arrival experience** for patients, visitors, nurses, physicians, administrators, and staff at Grady's main campus.

Finding solutions to address barriers to accessing Grady and implementing improvements on and around the campus is the desired outcome of this effort.

Parking Occupancy

During peak months, Grady's Main Campus parking is **97% occupied**. To enhance the patient experience, Grady may consider leasing additional parking spaces or constructing new parking facilities to increase capacity.



Parking Demand Assumptions

PARKING SUPPLY NEEDED

1 Turner Field and the Blue Lot will be displaced, resulting in reallocating the parking location for ~750 employees and a parking demand of **282 spaces**.

282 Spaces

2 To increase the efficiency of the Piedmont Deck by maintaining an occupancy of <95%. This requires reallocating the parking location for ~200 employees and a parking demand of **75 spaces**.

75 Spaces

3 To increase visitor experience and efficient use by visitors, remove employee parking in the Butler Deck to ~2,550 employees and reallocate spaces to patient parking. This results in a parking demand of **954 spaces**.

954 Spaces

4 This parking demand examines Grady's current parking needs. Patient and employee growth is factored into the recommended supply of future parking facilities.

At Least 1,311 Spaces

Pick-Up & Drop-Off | Locations



The main entrance to Grady.



Patient pick-up for discharged patients and drop-off.



Emergency Room drop-off and pick-up.



Correll Pavilion outpatient drop-off and pick-up.



Traffic Congestion | Needs

1

Traffic from GSU Decks causes congestion near the entrance of Correll Pavilion.

2

Southbound traffic backs up along Jesse Hill Jr. Drive blocking the entrance/exit of the Butler Deck.

3

Disorganized curb management along Pratt Street.

4

7:00 AM shift change creates congestion into the Butler Deck on Pratt Street.

5

Jesse Hill Jr. Drive closure confuses patients driving to campus.



Traffic Congestion | Solutions

1

Divert patients to alternative parking locations that don't interact with GSU.

2

Signal Timing improvements: longer green light phases southbound and peak period timing plans.

3

Increased enforcement by ATLPlus. Eventually, eliminate the on-street parking with two-way of Pratt Street.

4

Eventual dispersal of staff parking to the new Pratt Street Deck.

5

Evaluate implementing a north and south Grady campus approach to traffic and parking management.



Pedestrian Experience | Needs

1

Cluttered and uneven sidewalks along Jesse Hill Jr. Drive.

2

Pedestrians walk in front of the Butler Deck entrance on Pratt Street during shift changes.

3

Construction and curb management impede the pedestrian network.



Pedestrian Experience | Solutions

1

Partnering with ATL DOT to eliminate vendors with tents in the public right-of-way and repair sidewalks.

2

Crossing guard in AM peak to regulate pedestrian movements in front of the Butler Deck entrance. Eventual pedestrian bridge to the hospital.

3

Eliminate on-street parking and designate sufficient dedicated curbside space to prevent drop-offs in the travel lane.



Grady Building
Grady Parking

Wayfinding | Needs

1

Only two out of nine highway exit routes have Grady Hospital signage at the exits.

2

Unclear and lack of wayfinding signage within the street network.

3

Butler Deck has outdated and confusing signage within the Deck.

4

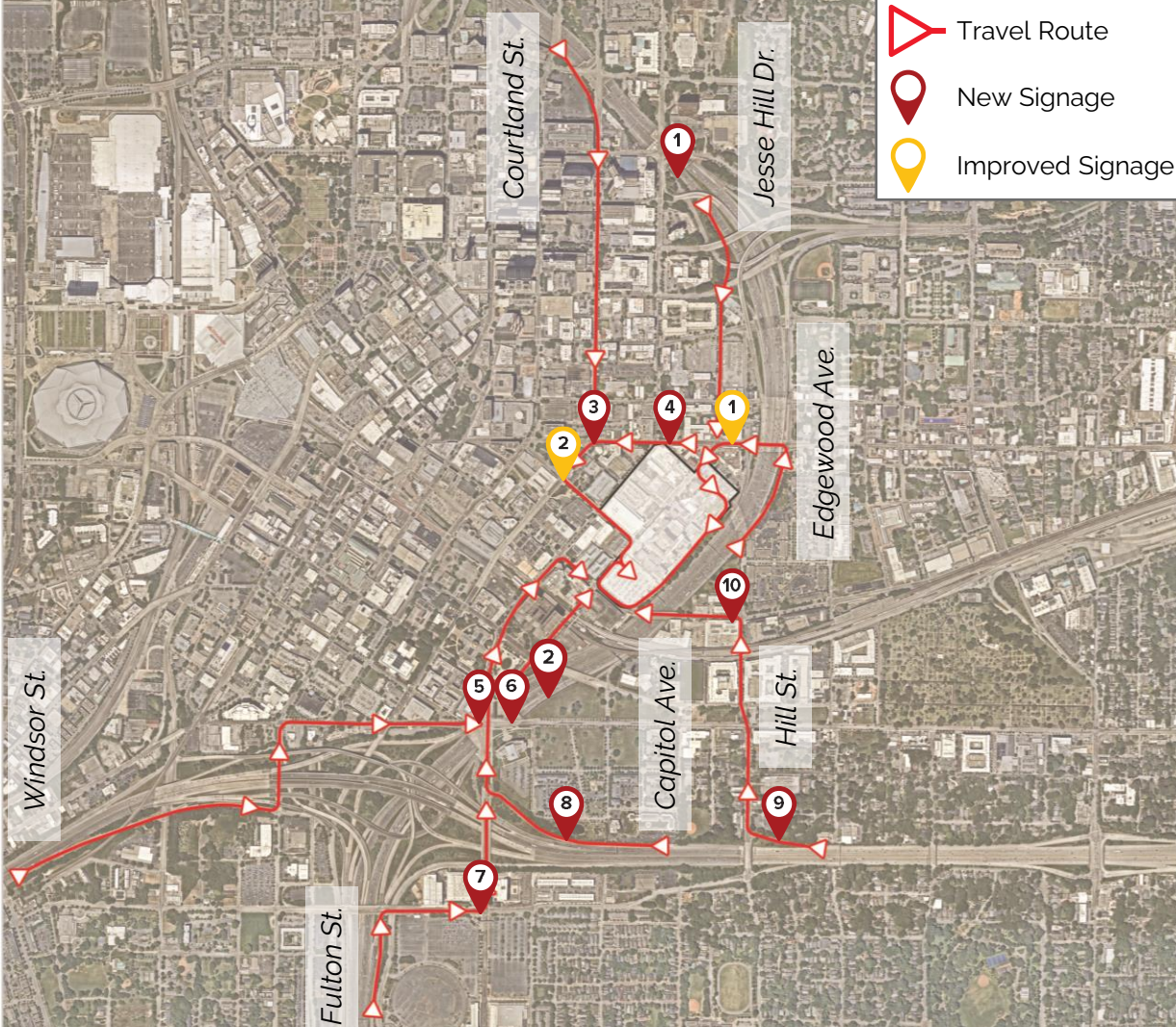
Faded lane striping on Pratt Street and Jesse Hill Jr. Drive.



Driving Routes to Campus & Wayfinding Solutions

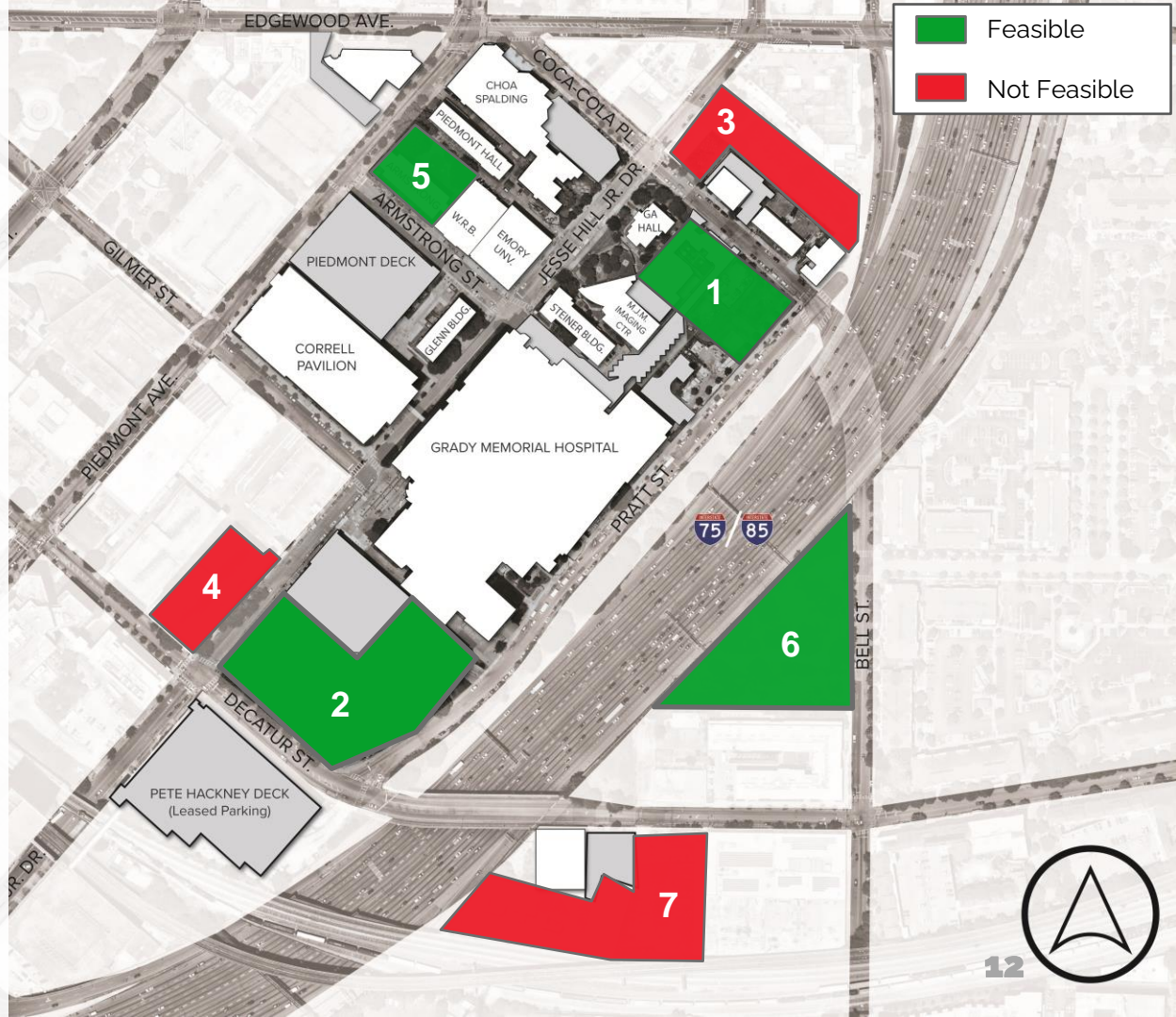
-  Travel Route
-  New Signage
-  Improved Signage

Number	Intersection
1	Exit 248D, I-85/75 Southbound
2	Exit 248B, I-85/75 Northbound
3	Courtland St. at Edgewood Ave., Southbound
4	Edgewood Ave. at Coca-Cola Pl., Eastbound
5	Memorial Dr. at Capitol Ave., Northbound
6	Memorial Dr. at Capitol Ave., Eastbound
7	Fulton St. at Capitol Ave., Eastbound
8	Off-ramp at Capitol Ave., Westbound
9	Off-ramp at Hill St., Westbound
10	Hill St at Decatur St., North and Westbound
1	Edgewood Ave. at Jesse Hill Jr. Dr., Westbound
2	Courtland St. at Gilmer St., Southbound

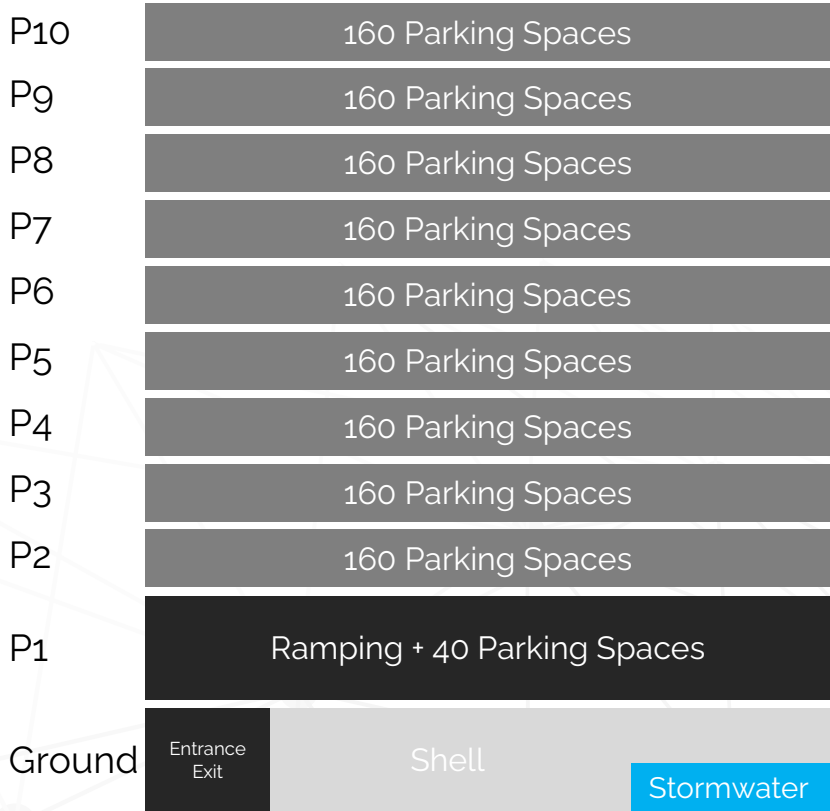


New Parking Supply Assessed

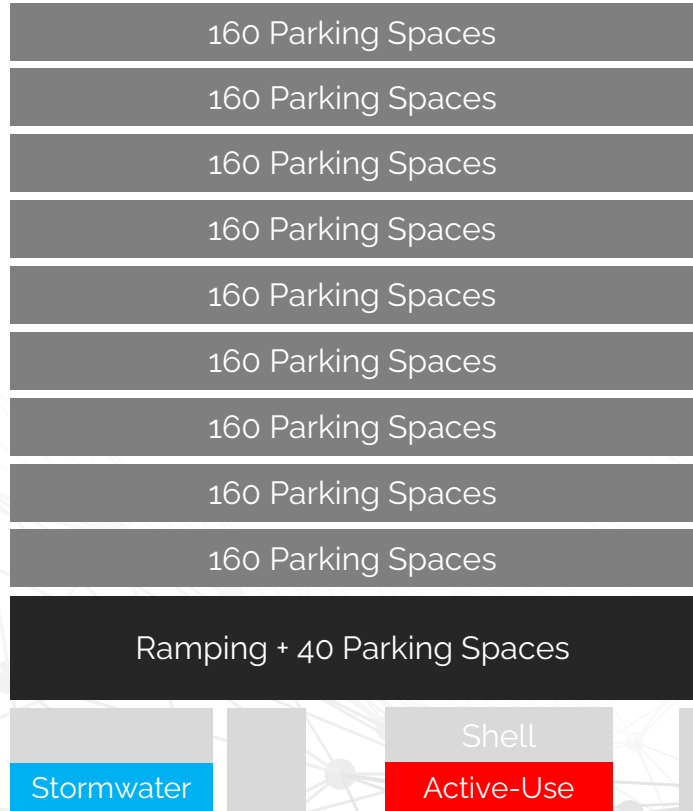
#	Parking Facility	Description
1	Pratt Street Deck	1,480 parking spaces
2	Rebuild the Butler Deck	1,500 – 1,975 parking spaces
3	Municipal Market Deck	Shared lease agreements limit Grady's control over this location.
4	Buy GSU K Deck	The limited footprint of the land would create an inefficient parking deck.
5	Armstrong Deck	Building up to 210 additional parking for physicians.
6	Integral Development Deck	Leasing up to 550 spaces for employee parking.
7	IT Department Deck	Requires demolition and lease agreements with existing tenants.



New Pratt Street Deck | Elevations



Pratt Street



Coca-Cola Place

1,480 Parking Spaces

- 10 Levels
- First 2 Levels | Ramping
- P1 | 40 Spaces
- P2 - P10 | 160 Spaces

Lobby facing Grady

Ambulance Exit

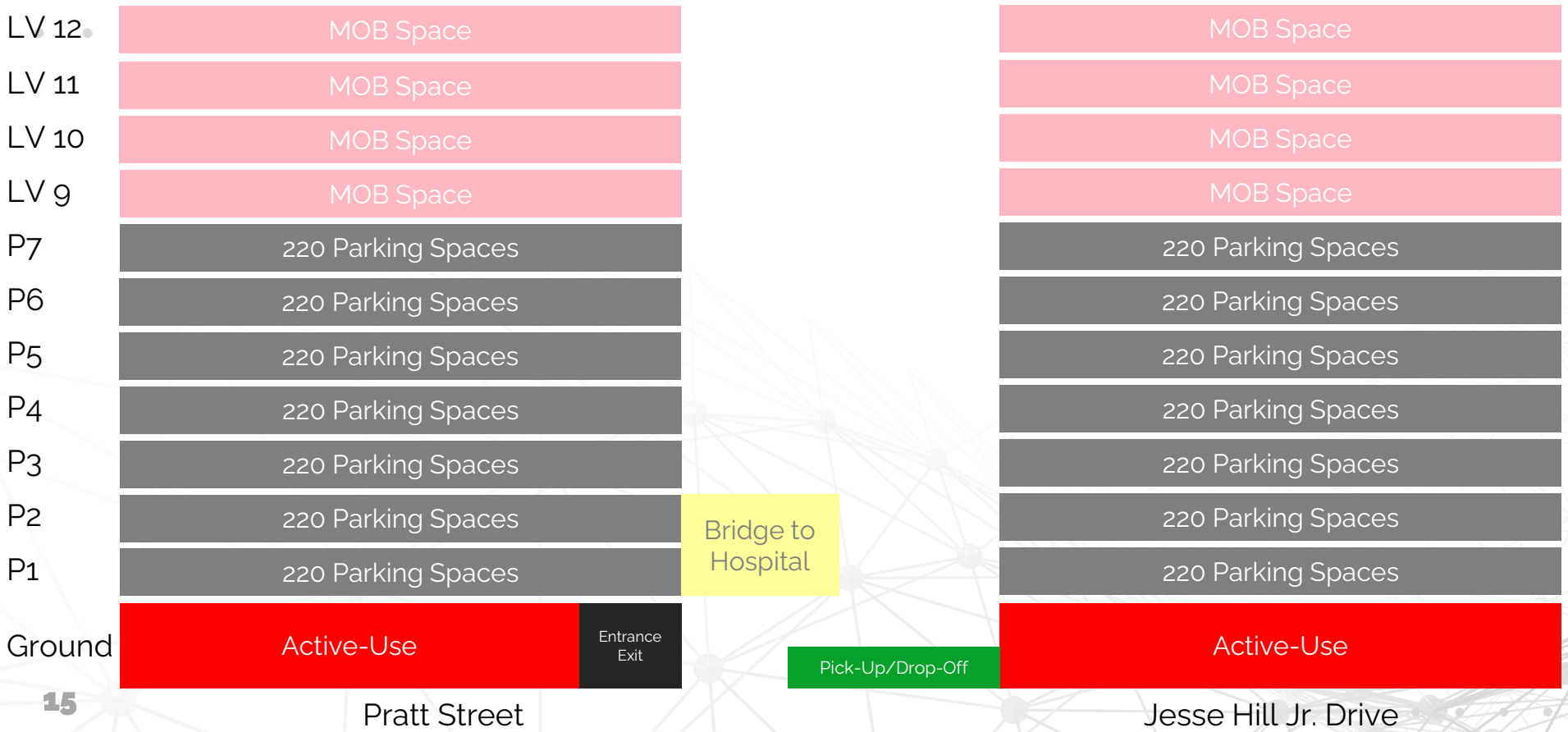
Retail facing Coca-Cola Place

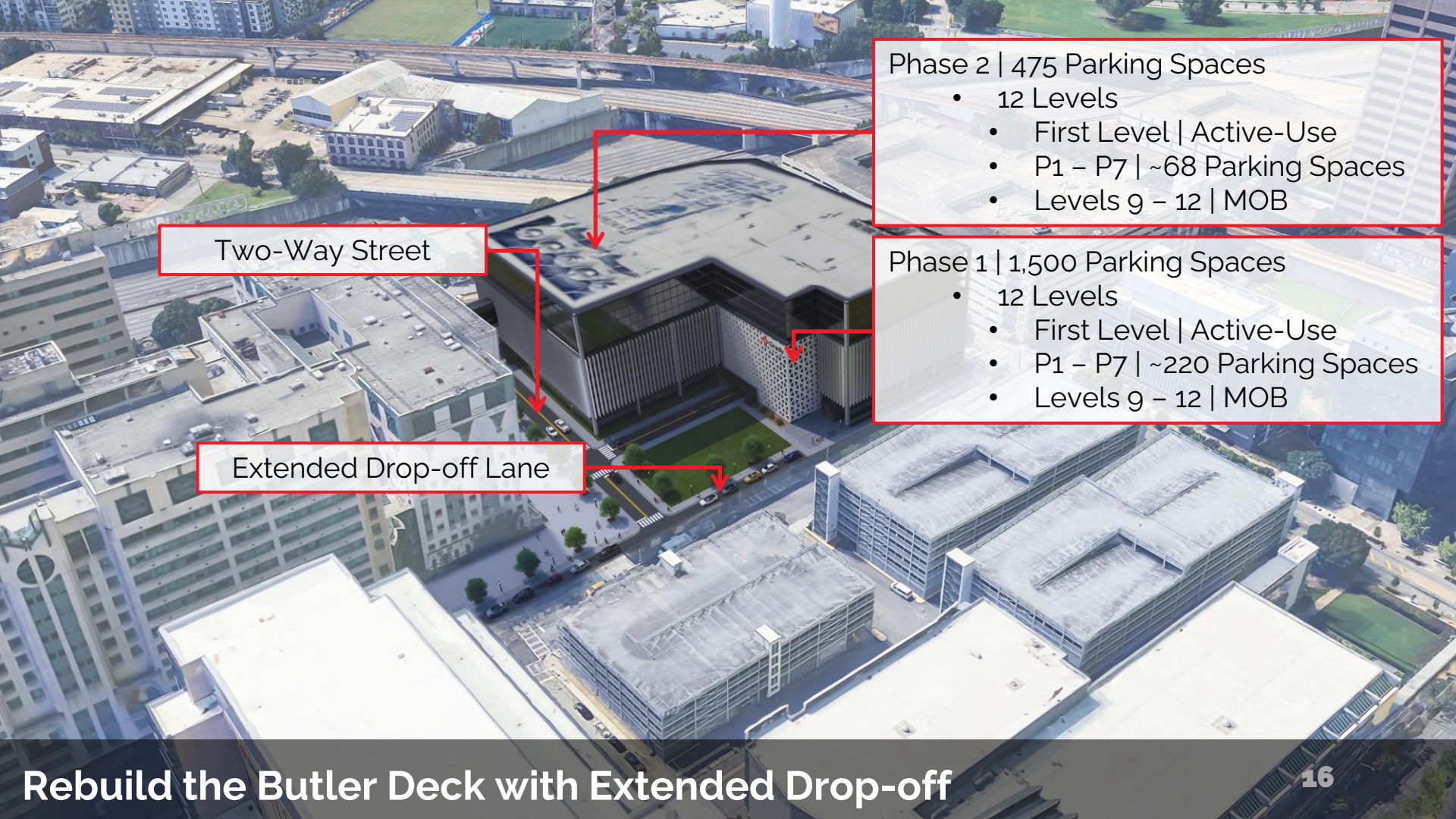
Entrance/Exit

Entrance/Exit

Truck Entrance/Exit

Rebuild the Butler Deck | Phase 1 Elevations





Two-Way Street

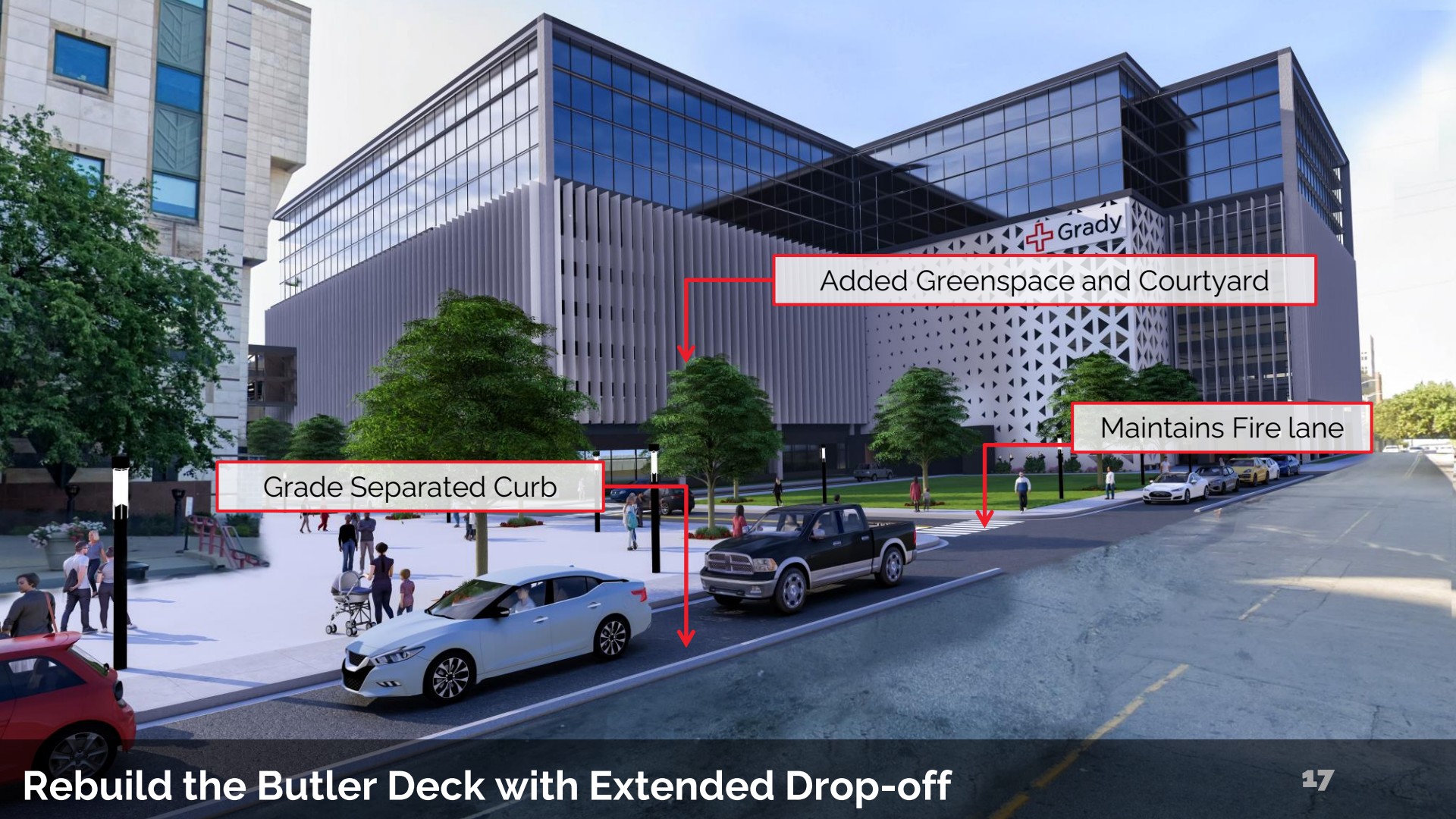
Extended Drop-off Lane

Phase 2 | 475 Parking Spaces

- 12 Levels
- First Level | Active-Use
- P1 – P7 | ~68 Parking Spaces
- Levels 9 – 12 | MOB

Phase 1 | 1,500 Parking Spaces

- 12 Levels
- First Level | Active-Use
- P1 – P7 | ~220 Parking Spaces
- Levels 9 – 12 | MOB



Added Greenspace and Courtyard

Maintains Fire lane

Grade Separated Curb

Rebuild the Butler Deck with Extended Drop-off

Two-Level
Pedestrian Bridge

Potential for Solar Panels

Sculpture in the Center of Roundabout

Rebuild the Butler Deck with Roundabout

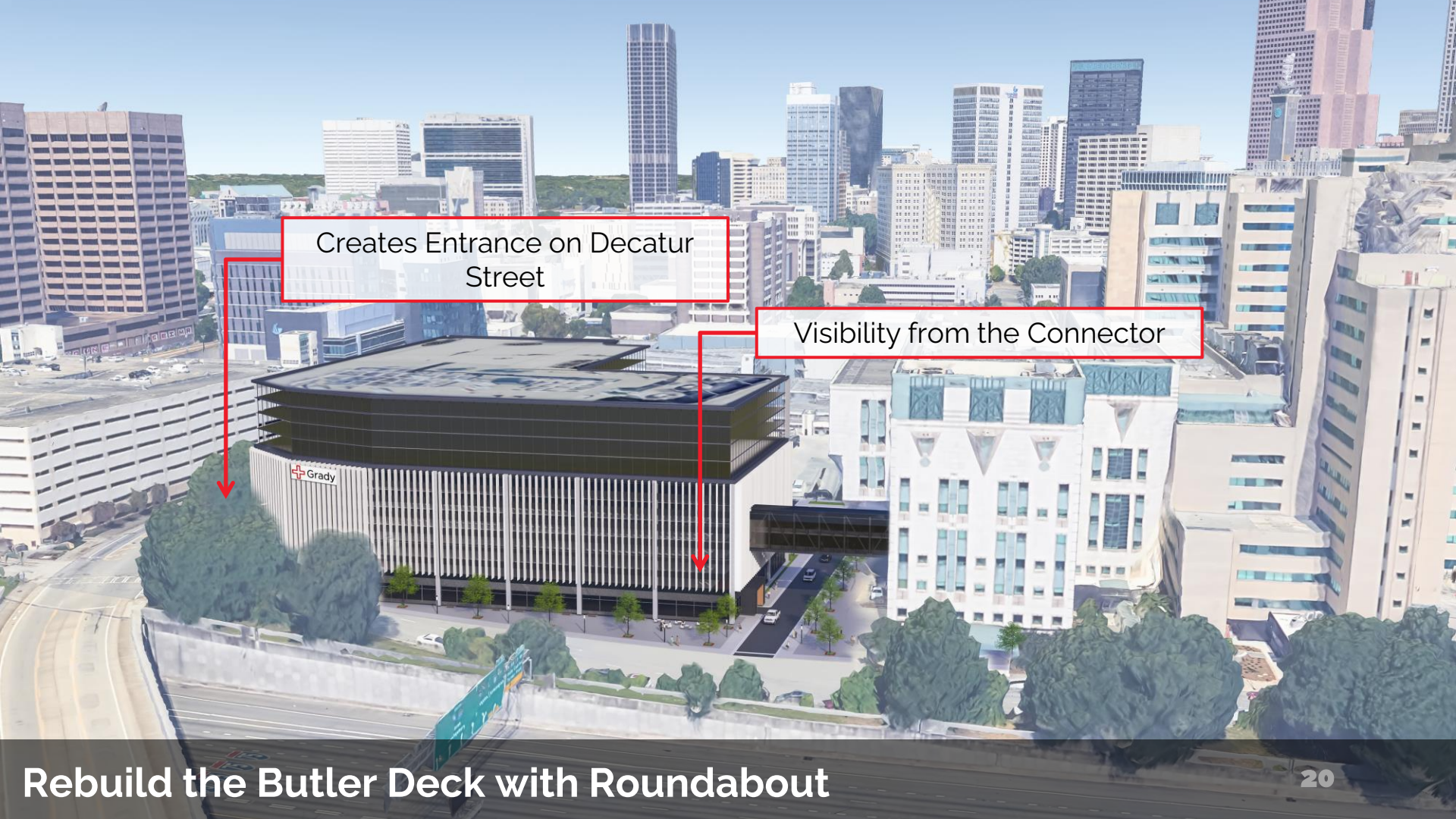
Patient Drop-off Canopy

An aerial photograph of a hospital campus. A red box highlights a proposed 'Patient Drop-off Canopy' area. A red arrow points from this box to a blue canopy structure. Another red box highlights a 'New Pick-up/Drop-off Area' at a roundabout. A red arrow points from this box to the roundabout. The campus includes several large buildings, one labeled 'CORRELL PAVILION', and a parking lot. A highway with multiple lanes and a bridge is visible on the right side of the image.

New Pick-up/Drop-off Area

- Main entrance/exit on Jesse Hill Jr. Dr.
- Secondary exit onto Pratt St.

Rebuild the Butler Deck with Roundabout



Creates Entrance on Decatur Street

Visibility from the Connector

Rebuild the Butler Deck with Roundabout

Patient Drop-off Canopy

Active-Use Space





Pedestrian bridge with Access to the third and fourth floor

Exit of Garage to Pratt Street

Added Greenspace and Courtyard

Parking Phasing

Butler Deck Existing Occupancy

99% Occupancy
1,786 Spaces

Increase the lease on the Pete Hackney Deck by **~225 Spaces**.

- Cap staff decks at effective supply: **75 spaces** from Piedmont Deck and **50 spaces** from Butler Deck
 - Account for the future **100 spaces** of on-street parking loss.

**Will need to lease additional 282 spaces if Turner Field lease goes away.*

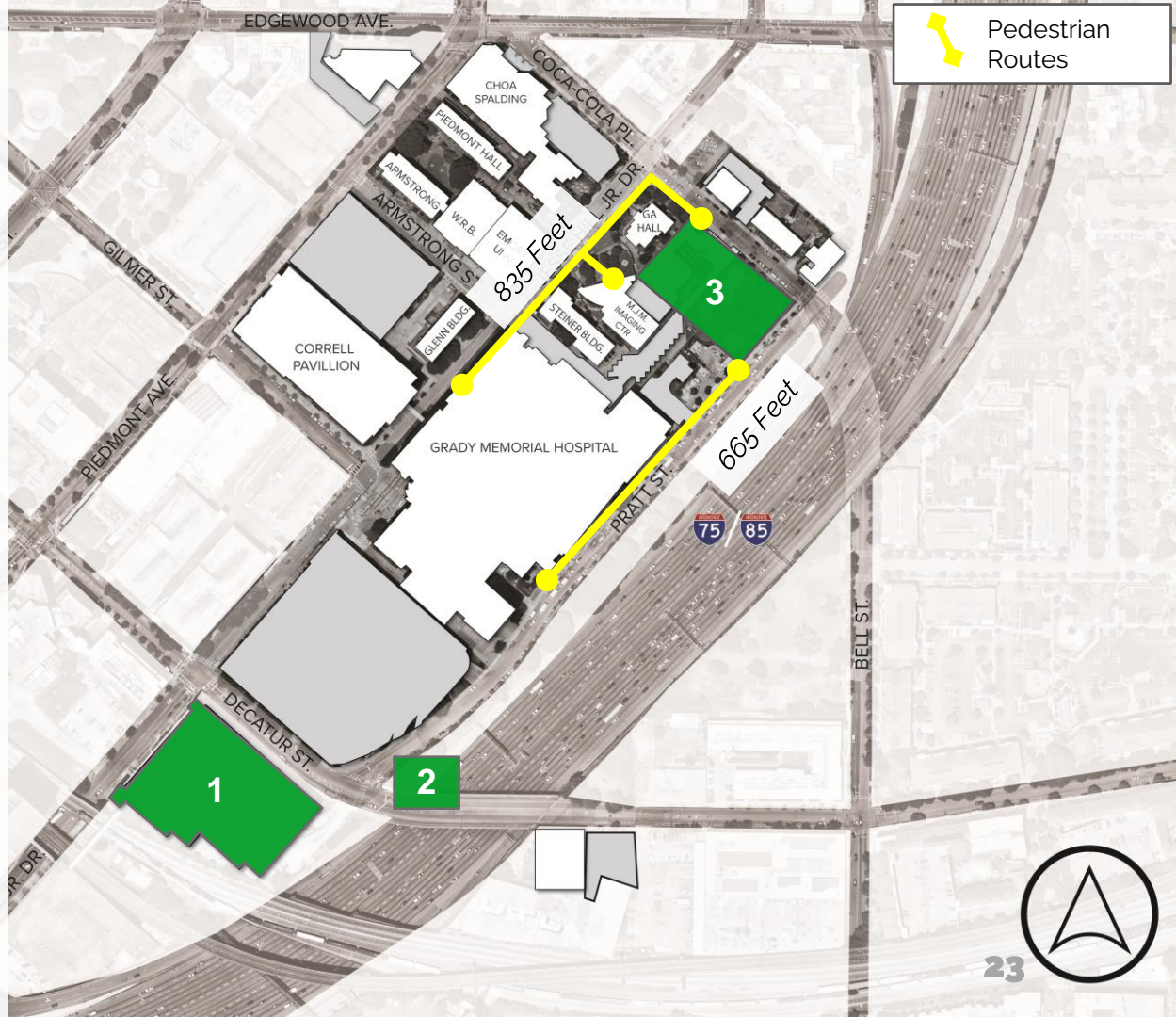
2 Two-Way Pratt Street.

3 Build the new Pratt Street Deck to **1,480 spaces**.

- Shift **~850 Patient spaces** from the Butler Deck to the Pratt Deck.
 - Shift **~482** of the **904 Staff spaces** to the top levels of the Pratt Deck.
- Begin Butler Deck Demo Phase 1.

Butler Deck

76% Occupancy
404 Spaces



Pedestrian Routes



Parking Phasing Continued

- 4** Begin and finish the construction of the Butler Deck Phase 1.
- Shift 850 patient spaces back to the Butler Deck from the Pratt Deck.



- 5** End the Pete Hackney lease and move the **525 spaces** into the Pratt Street Deck. End the Turner Field lease and move **282 spaces** into the Pratt Street Deck.

- 6** Demo the old Butler Deck, capacity goes to **1,500 spaces.**



Evaluate continual patient and employee growth to decide whether to increase deck capacity **step 4.**

Decrease the height of the Pratt Street Deck by one floor if Armstrong is built before.

Decrease the height of the Butler Deck by two floors if the Integral lease occurs before construction.

